

Mqabba

Planning Control Applications

PC Number: PC 6/18

Proposal: Rationalisation of Land.

Location: Plot, Triq George Martin cw Triq il-Hajt talMatla, Mqabba

Architect: Mangion, Mangion & Partners

Applicant: Sylvana Mifsud

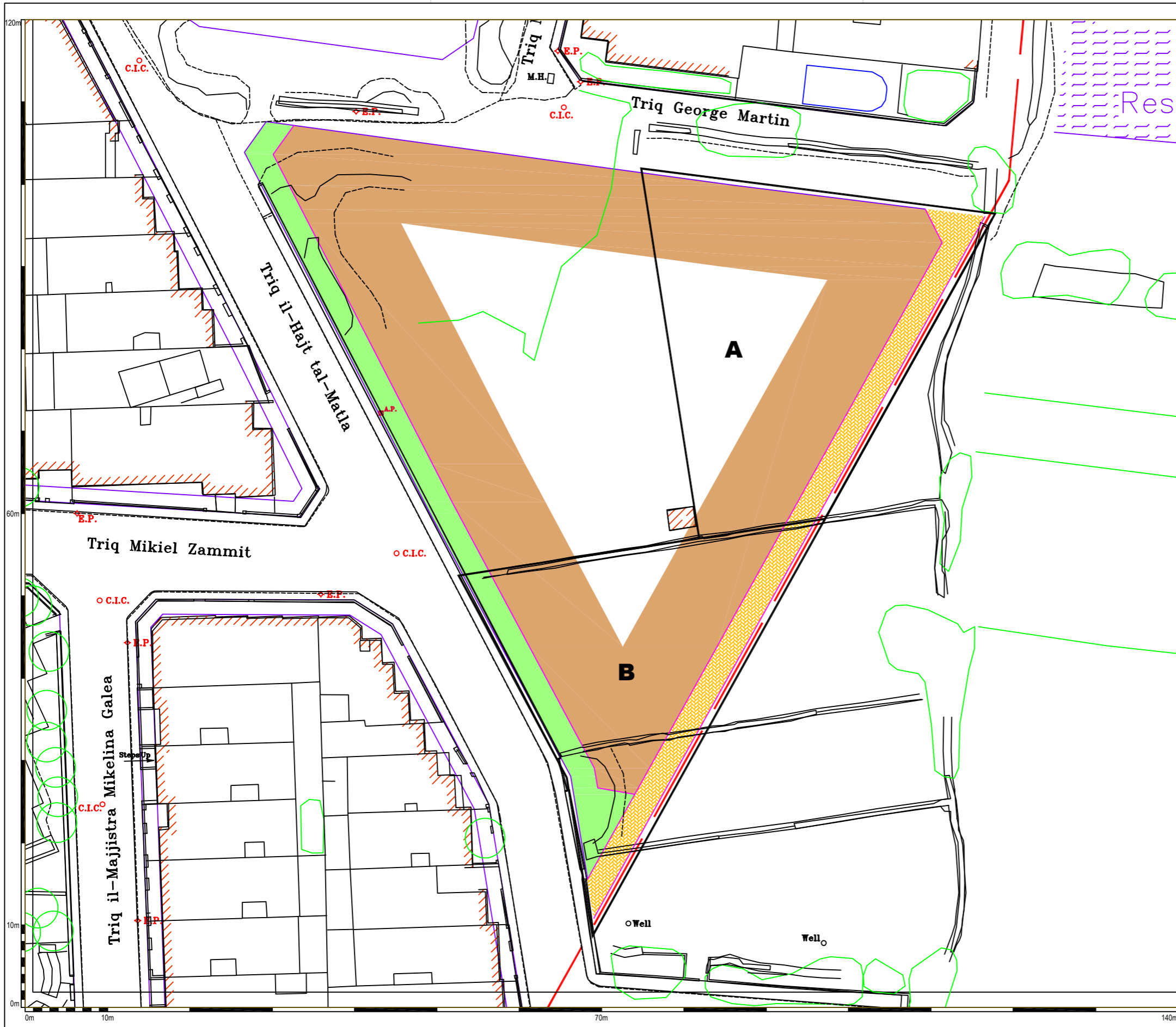
Date of Endorsement: 4th December 2019.

Drawing Numbers: PC 06/18/1A/41B.

Conditions:

1. Land is zoned for residential land use following policy SMHO 02 of the SMLP (2006).
2. The maximum allowable height of buildings should not exceed an overall height of 17.50 metres and shall be interpreted in terms of the applicable policies, guidelines and standards in the Development Control Design Policy, Guidance and Standards, 2015 (DC15). In addition, for buildings with a facade facing on the ODZ, the buildings shall be terraced down towards the ODZ side provided the facade height on the ODZ side shall not exceed 12.3 metres with the initial setback from the ODZ side shall not be less than 3m from the alignment of the floor below and the second setback (top most floor) shall not be less than 1.5m from the building line of the floor below.
3. A 3 metre public pedestrian footpath completely within the Development Zone is required along the frontages facing ODZ.
4. A 1.2m boundary walls at edge of scheme located totally within the Development Zone excluding the cart-ruts protection zone and its buffer zone should be constructed in traditional random rubble (sejjięġh), avoiding ashlar walls and walls faced/clad in rubble.
5. Segment A is to be planned and developed comprehensively. Vehicular access is to be from Triq George Martin.
6. Segment B is to be planned and developed comprehensively. Vehicular access is from Triq il-Hajt tal-Matla.
7. Special attention shall be given to the design of building elevations on the pedestrian footpath. The elevation design must consider the scale, balance and character of the entire elevation overlooking the ODZ.
8. All development within the area covered by this PC is to include a reservoir with a capacity of 20% in excess of the minimum requirement of Part II of L.N. 227 of 2016 – Development Planning (Health and Sanitary) Regulations, 2016.
9. Site shall not be subject to Floor Area Ratio Planning considerations.

10. Detailed development proposals shall be subject to any legal third party access rights through or to the site.
11. PC Zoning Application Fees are to be settled by applicants as per LN356/10 at the Development Planning Application (DPA) stage.



S.S. No.: 5266 Scale: 1:2500



Subsidiary Plan Minor Modification

Locality:

Mqabba

Plan Reference Number:

PC 06/18/41B

Scale:	1:500	Survey No.:	Mqb 2127e-10
Grid System:	U.T.M.	Scale Factor:	0.999632
		Min. Coordinates:	52189 66767
		Level datum:	M.S.L.
Survey Completion Date:	13/05/2010	Plan Completion Date:	08/03/2019
Survey Checked By:	M. Azzopardi (LSU)	Plan Checked By:	J. Gauci

Map as approved by Minister
on the 4th December 2019

This map established the zoning, building height and alignments of the site included within the development boundaries in accordance with the Partial Structure Plan Review published in the Government Gazette on the 27 th February 2007.

Disclaimer:
The information on this plan has been carefully checked for accuracy at the time of survey. However the Planning Authority cannot assume responsibility for any changes occurring after the date of the survey and cannot be held liable for damages resulting from interpretation or misuse of the information on this plan.

Existing Field Walls	Spot Level +46.20	Front/Side Garden	Alignment
Existing Building	Formation Level +20.00	Pedestrian Footpath	Proposed Alignment
Existing Vegetation	Limit to Development	Terraced Development (Residential). Building Height - see condition 2.	
Street Furniture	Urban Conservation Area		

PC Number: PC 0021/14

Proposal: To establish zoning, building heights and road alignments of the Rationalisation Exercise Site.

Location: Site at Tax-Xatba L-Hamra, Triq Xandru Farrugia c/w Triq Il-Konvoj Ta' Santa Marija, Mqabba

Architect: Mr Ian Cutajar A&CE

Applicant: Mr Victor Baldacchino et al

Date of Endorsement: 1st November 2017

Conditions

Drawing Numbers: PC 21/14/7A/83B.

At EC meeting held on 17th July 2017, EC approved PC 21/14/83B subject to the following conditions;

1. Land is zoned for residential land use following policy SMHO 02 of the SMLP (2006).
2. The overall building height on the street facade shall not exceed 14.10 metres. No additional structures will be permitted beyond this height.
3. A 3 metre public pedestrian passage is required along the frontages facing ODZ.
4. The design and implementation of the access to the road parallel Triq il-Konvoj Ta' Santa Maria shall be included as part of the first development application submitted on any plot fronting Triq il-Konvoj ta' Santa Maria. The said access (including any traffic arrangements) are subject to approval by Transport Malta.
5. A 1.2m Boundary walls at edge of scheme should be constructed in traditional random rubble (sejjiiegħ), avoiding ashlar walls and walls faced/clad in rubble.
6. The car park underneath the segment A including the part underneath the public pedestrian passage is to be planned comprehensively. Vehicular access from Triq Xandru Farrugi.
7. The car park underneath the segment B including the part underneath the public pedestrian passage is to be planned comprehensively. Vehicular access from Triq Xandru Farrugia.
8. The back façade overlooking the pedestrian passage access should be compatible with the overall building design and treated architecturally to avoid blank walls and monotonous elevation design.
9. Site shall not be subject to Floor Area Ratio Planning considerations.
10. Detailed development proposals shall be subject to any legal third party access rights through or to the site;
11. PC Zoning Application Fees are to be settled by applicants as per LN356/10 as amended by LN163/16 at the Development Planning Application (DPA) stage.

037466

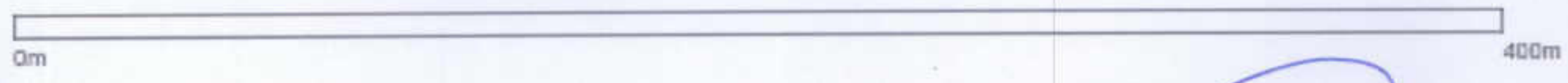
IA

500m



0m

Min Easting = 51995.69, Min Northing = 66658.95, Max Easting = 52395.69, Max Northing = 67159.44



MEPA

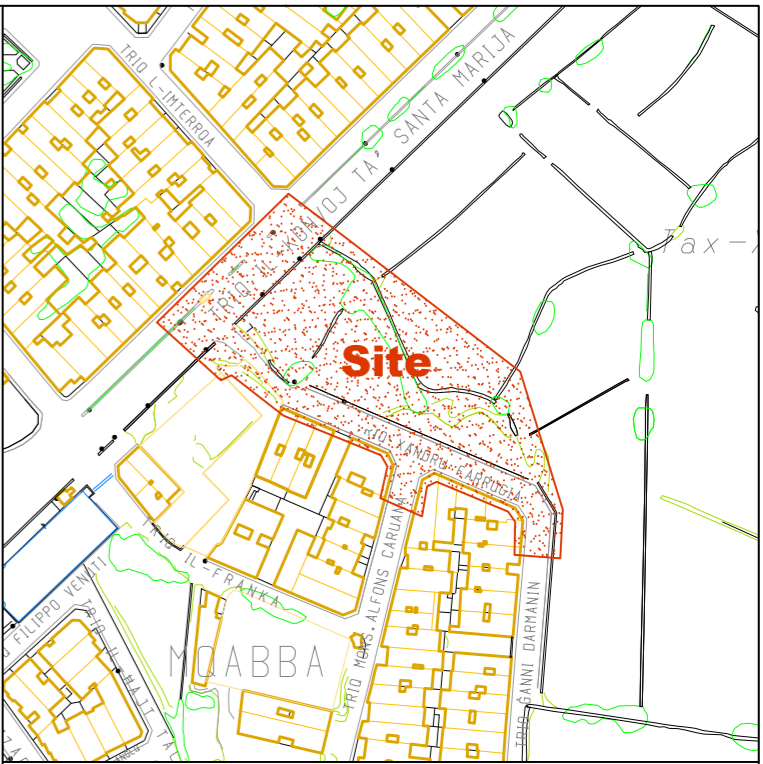
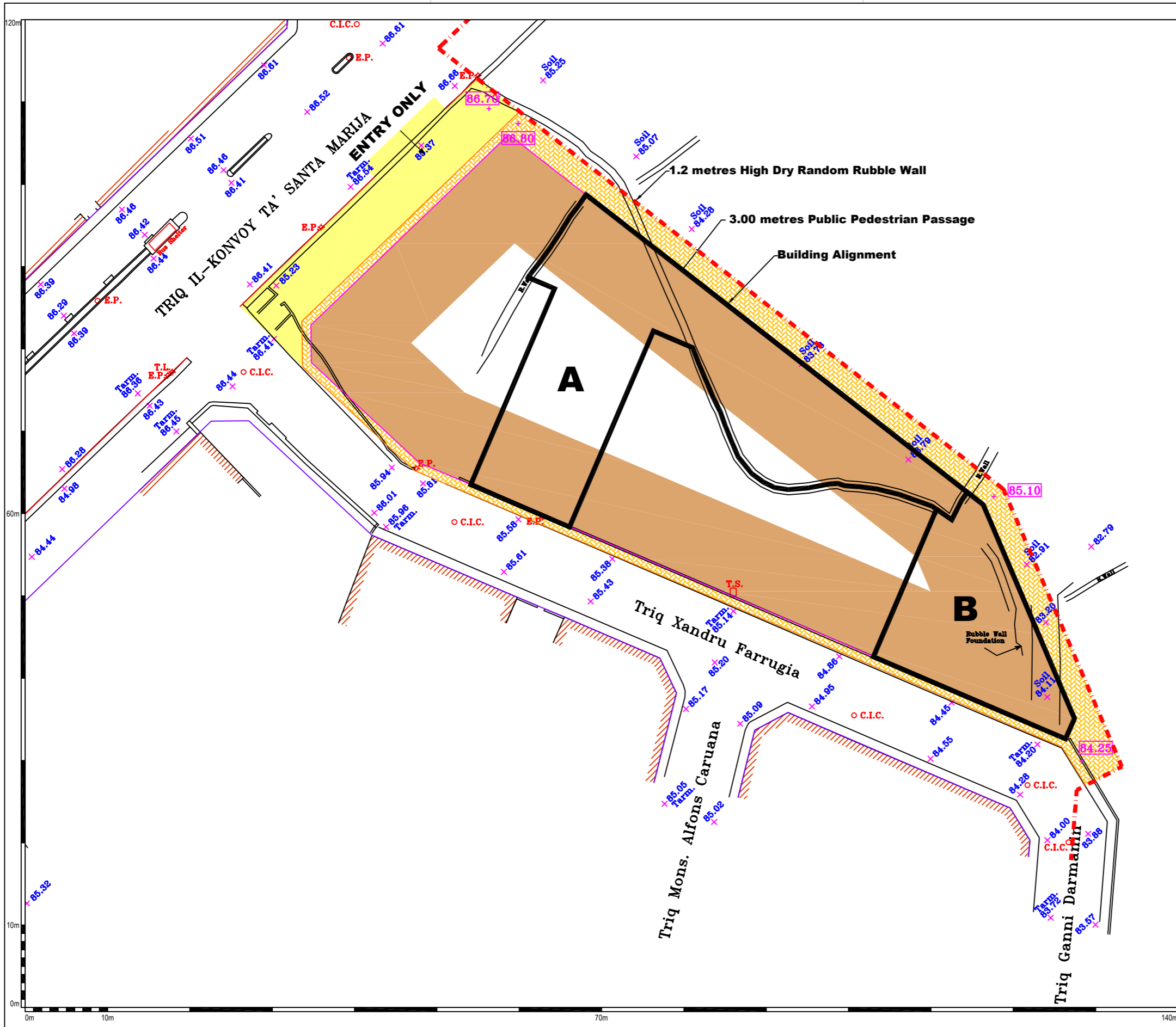
www.mepa.org.mt

St. Francis Ravelin
 Floriana
 PO Box 200, Valletta, Malta
 Tel: +356 240976 Fax: +356 224846

Site Plan, Scale 1:2500 Printed on: Saturday, July 11, 2009

Not to be used for interpretation or scaling of scheme alignments

IAN CUTAJAR
 Architect & Civil Engineer



S.S. No.: 5266

Scale: 1:2500



Subsidiary Plan Minor Modification

Locality:
Mqabba

Plan Reference Number:
PC 21/14/83B

Scale: 1:500	Survey No.: Mqb 1393e2-15
Grid System: U.T.M.	Scale Factor: 0.999632
Survey Completion Date: 09/09/2015	Min. Coordinates: 52190 66950
Survey Checked By: M. Azzopardi (LSU)	Level datum: M.S.L.
	Plan Completion Date: 09/08/2017
	Plan Checked By: M. Galea

Map as approved by Minister
on the 1st November 2017

This map established the zoning, building height and alignments of the site included within the development boundaries in accordance with the Partial Structure Plan Review published in the Government Gazette on the 27 th February 2007.

Disclaimer:
The information on this plan has been carefully checked for accuracy at the time of survey. However the Planning Authority cannot assume responsibility for any changes occurring after the date of the survey and cannot be held liable for damages resulting from interpretation or misuse of the information on this plan.

Existing Field Walls	Spot Level +86.29	Scheme Road	Terraced Development (Residential)
Existing Building	Formation Level +20.00	Pedestrian Area	Building Height - see condition 2.
Existing Vegetation	Limit to Development	Alignment	
Street Furniture E.P.O	Urban Conservation Area	Proposed Alignment	

PC Number: PC 0075/07

Proposal: To establish building height.

Location: Site at Triq Mikiel Zammit, Triq Mikiel Galea and Triq il-Hajt tal-Matla, Mqabba.

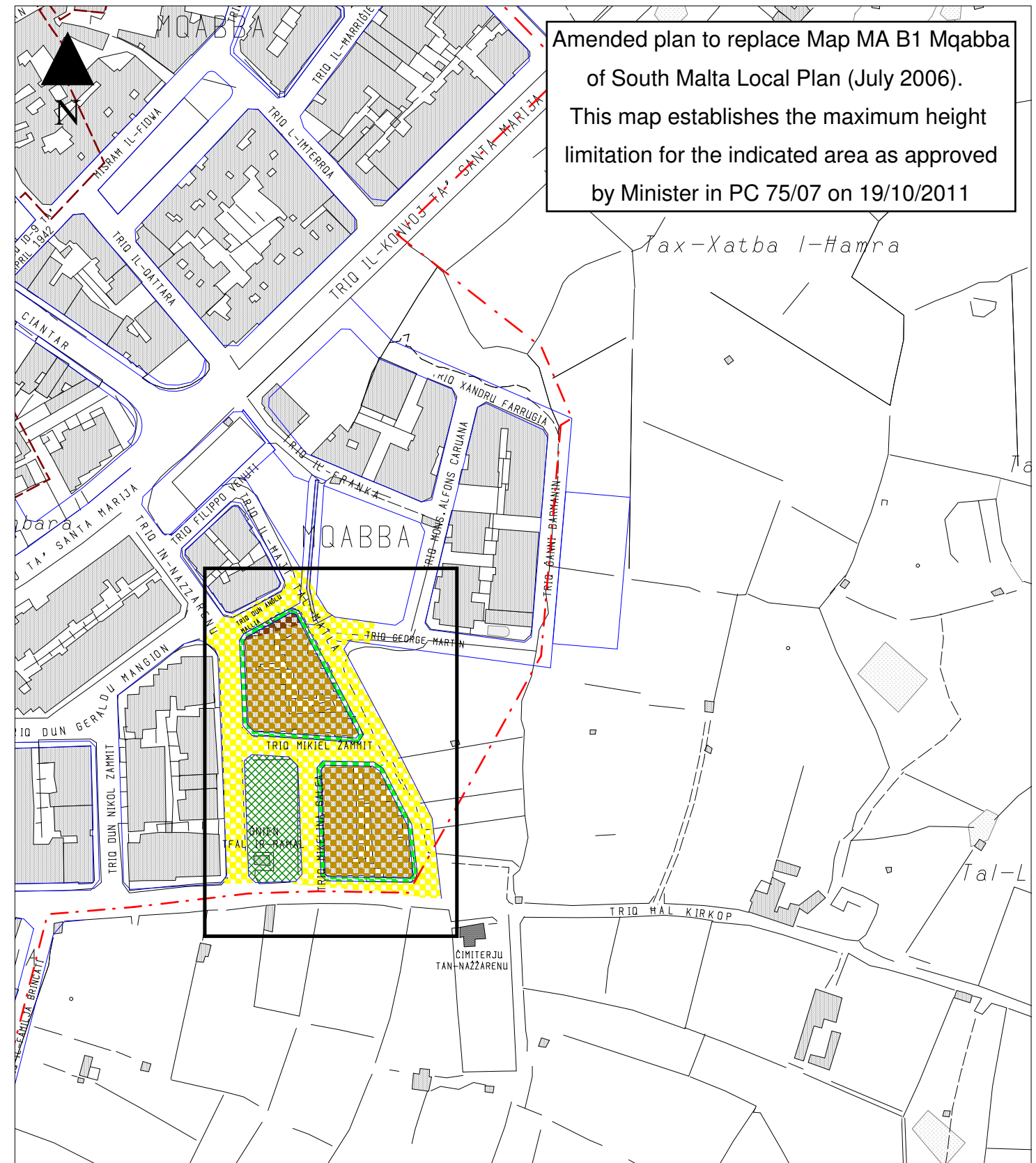
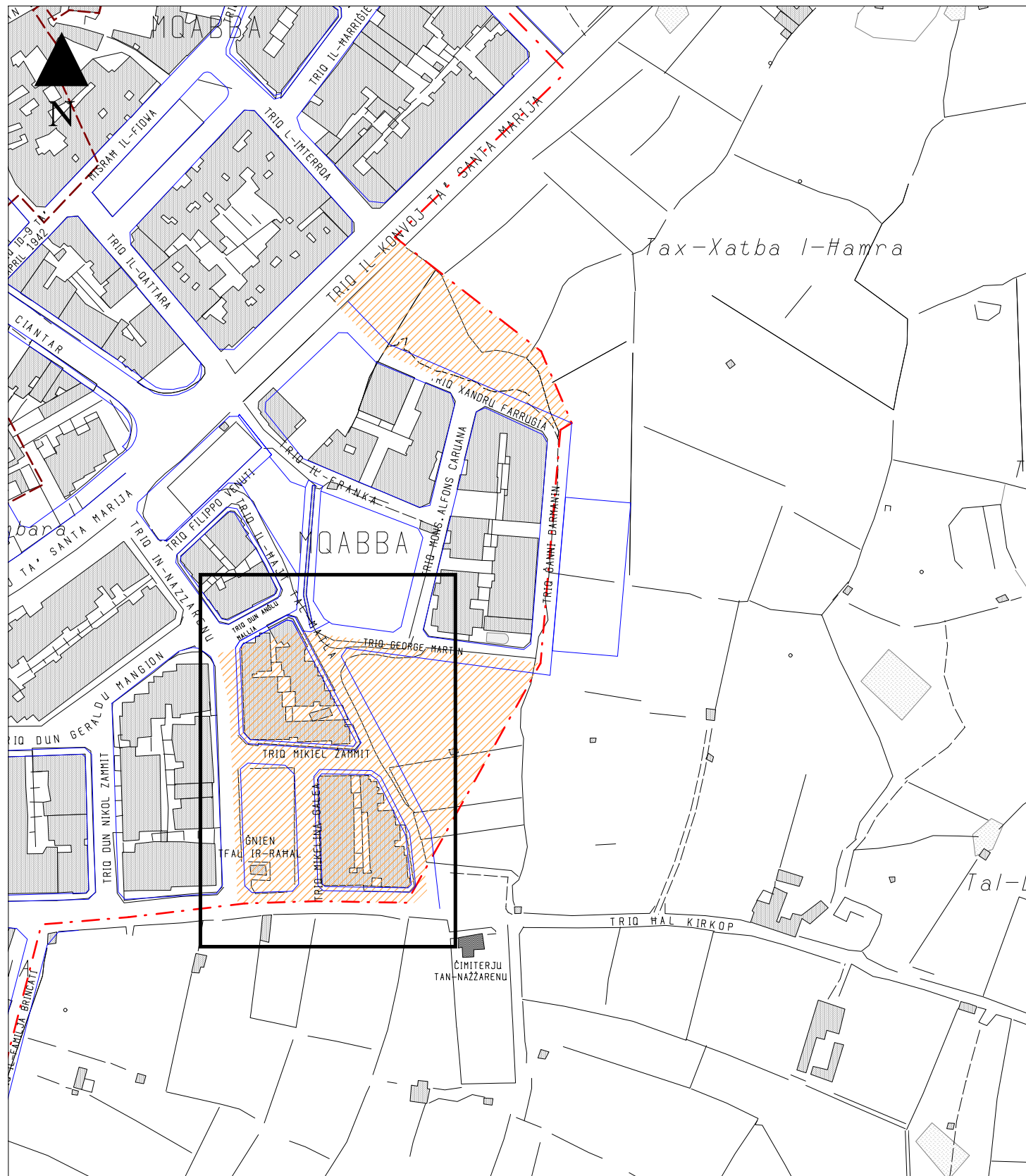
Architect: MEPA

Applicant: MEPA

Date of Endorsement: 19th October, 2011.

Conditions:

1. Maximum height limitation is 2 floors plus semi basement.
2. Site shall not be subject to Floor Area Ratio (FAR) planning considerations.
3. Detailed development proposals shall be subject to legal third party rights.



Amended plan to replace Map MA B1 Mqabba of South Malta Local Plan (July 2006).
 This map establishes the maximum height limitation for the indicated area as approved by Minister in PC 75/07 on 19/10/2011

Current Scheme Layout

Proposed Scheme Layout

SOUTH MALTA LOCAL PLAN



L-Awtorita` ta' Malta Dwar l-Ambjent u l-Ippjanar
 Malta Environment & Planning Authority

Key

- Limit to Development
- Urban Conservation Area
- Industrial Area Boundary
- Projected HOS
- Alignment
- Location of Amendment
- Easement
- Kerb Alignment
- Road Markings
- DZ Rationalisation Site
- Projected Road
- Shared Area
- Pedestrian Area
- Open Space
- Proposed Reservoir
- Front / Side Garden
- Terraced Development (Residential) (Building Height 3 Floors + semi-basement)
- Terraced Development (Residential) (Building Height 2 Floors + semi-basement)

Changes to Scheme 63, Mqabba
 PC 0075/07

Scale : 1:2500	Date : October 2011	Figure : MA B1
INDICATIVE ONLY Not to be used for measurement or direct interpretation. Maps to be used in conjunction with Policy Document.		
Base Maps - 1988 Survey Sheets Copyright Mapping Unit, Malta Environment & Planning Authority		